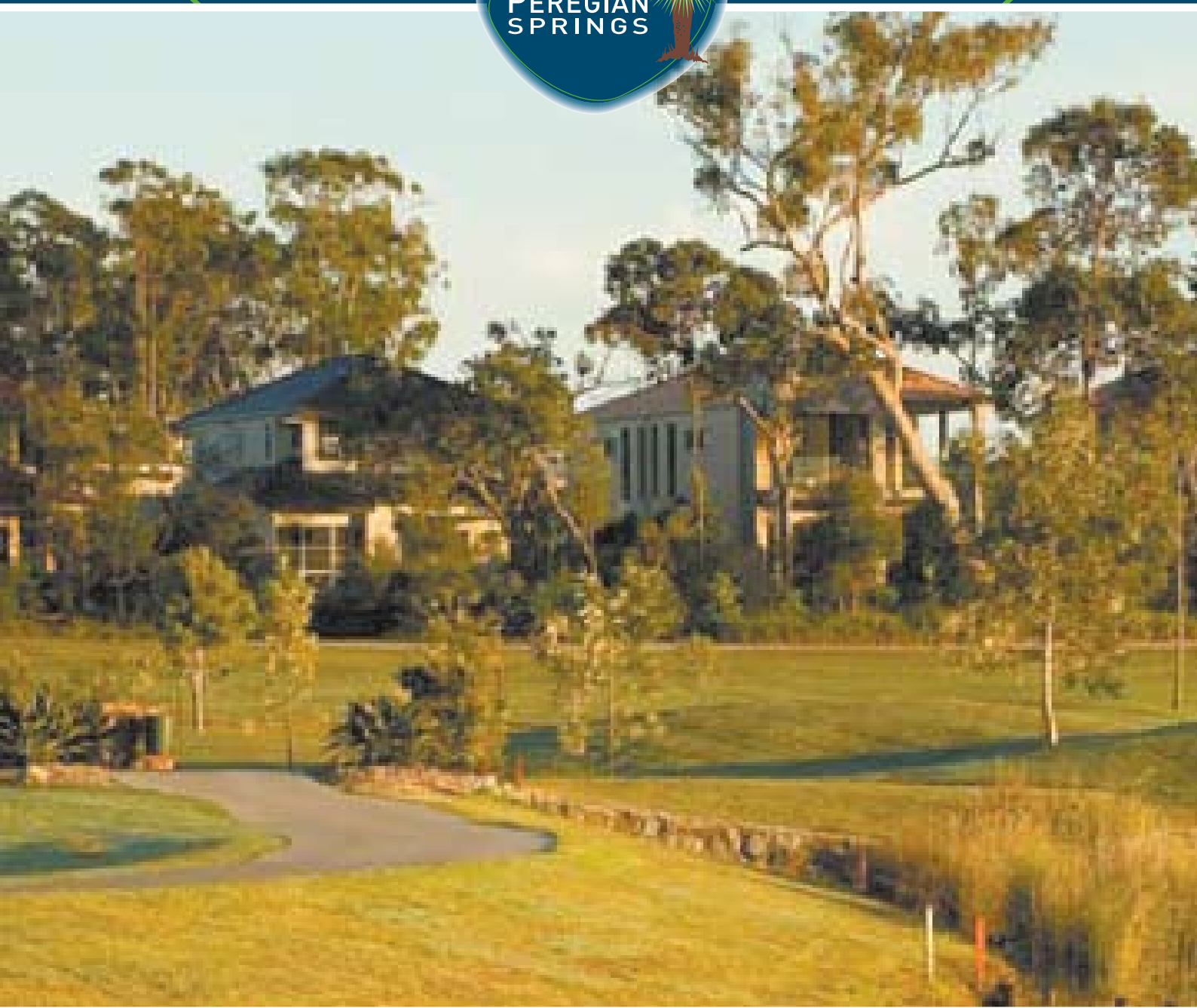


Quality Assurance Guide to Livable Housing



Too good to resist





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Peregian Springs Estate Covenant

1 About these Estate Covenants

Peregian Springs is an environmentally responsible master planned residential community development, integrating schools, shopping and recreational facilities, including a private 18-hole golf course.

These Estate Covenants are designed to enhance the quality and livability of the Estate by promoting a consistent and high standard of building design along with maintaining the quality of the environment.

You are required to comply with these Estate Covenants when building your new home in the Estate. Some of the covenants are design guidelines that we encourage you to follow, other covenants are fixed requirements that you must comply with.

2 Definitions

The following terms have these meanings in these Estate Covenants.

Council means the Maroochy Shire Council.

Estate means the estate known as Peregian Springs.

Garage means a fully enclosed car parking space.

Lot (and your lot) means a registered lot within the Estate that you own or are purchasing.

Setback is an imaginary line beyond which no part of a building, structure or other improvement may project towards a Lot boundary.

Storey means the floor-to-floor height between the levels of a building, or, in the case of the top floor, it is the floor-to-ceiling space.

We, our and **us** means FKP Residential Developments Pty Ltd ABN 71 010 422 241.

You, your means the owner of a Lot in the Estate.

Outdoor Living Area means any area outside the home (including but not limited to verandahs, patios, sheds, bbq areas, whether under the roofline or not).

3 Aim and Intent

Our aim is to encourage the development of homes which enhance, rather than erode, the amenity and character of the Estate through good creative design and harmonious integration of buildings and landscapes within the Estate's built environment.

These Estate Covenants are intended to establish a framework for creating a first class residential community. They promote development which maintains the continuity of housing within the Estate and delivers design solutions appropriate for the Queensland lifestyle. These Estate Covenants are the minimum standards for the Estate and we welcome the development of homes which further enhance these standards.

It is our belief that the quality of homes resulting from adherence to these Estate Covenants, both building and landscape, will maintain, protect and enhance property values in the Estate. It is therefore vital that everyone within the Estate adheres to, and is committed to, the implementation of the Estate Covenants.



4 Development Controls

4.1 Purpose

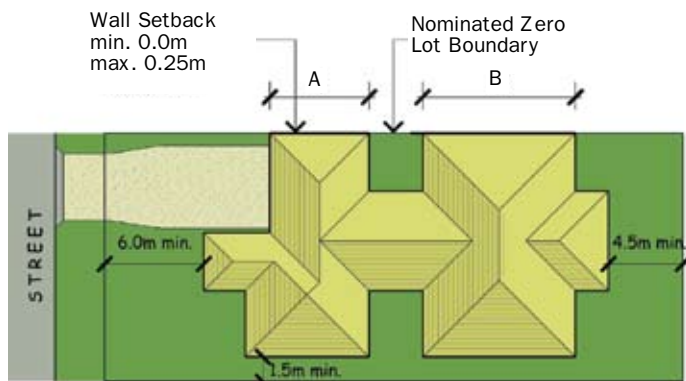
The purpose of these development controls is to enhance the total amenity and character of the Estate. They protect everyone's investment in the Estate.

4.2 Building requirements

You must ensure that the dwelling constructed on your Lot meets the building requirements set out in the Design Schedule. These are summarised in the tables below.

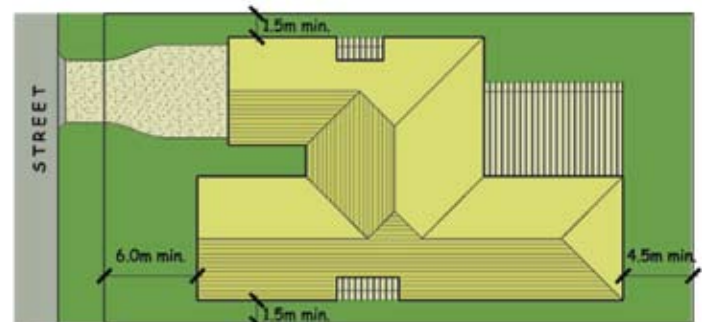
Single-storey — Building Requirements Summary

(A) NON-GOLF COURSE LOTS			
Minimum Lot Size	Site Coverage	Minimum Floor Area (incl. Garages excl. Outdoor Living Areas)	Minimum Setbacks (to the Fascia)
450-600m ² or main street frontage less than 15m (See 1)	Less than 50%	240m ²	Side: 1.5m/0m Rear: 4.5m Front: 6m
600-1,000m ² (See 2)	Less than 50%	280m ²	Side: 1.5m/1.5m Rear: 4.5m Front: 6m



1
450 to 600 m²
Non-Golf Course Lot
Single Storey

Floor Area = 240m² Minimum
Site Coverage = 50% Maximum
A + B = 6.0 min./15.0 max on boundary



2
600 to 1000 m²
Non-Golf Course Lot
Single Storey

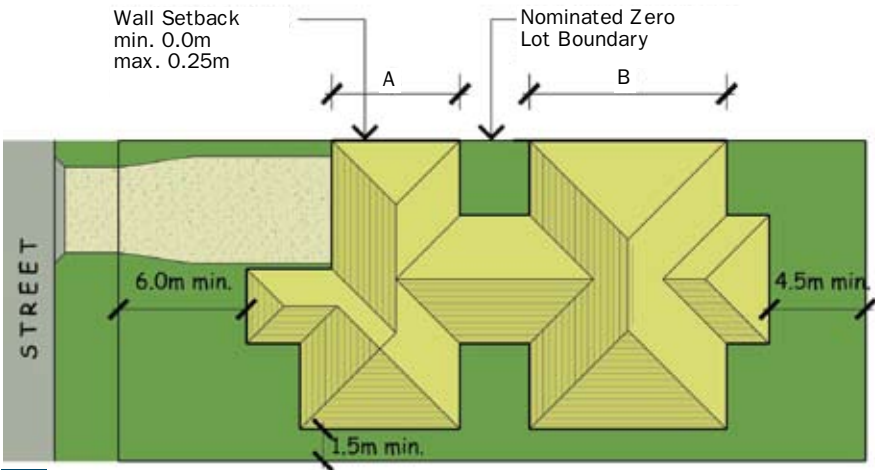
Floor Area = 280m² Minimum
Site Coverage = 50% Maximum



Peregian Springs Estate Covenant

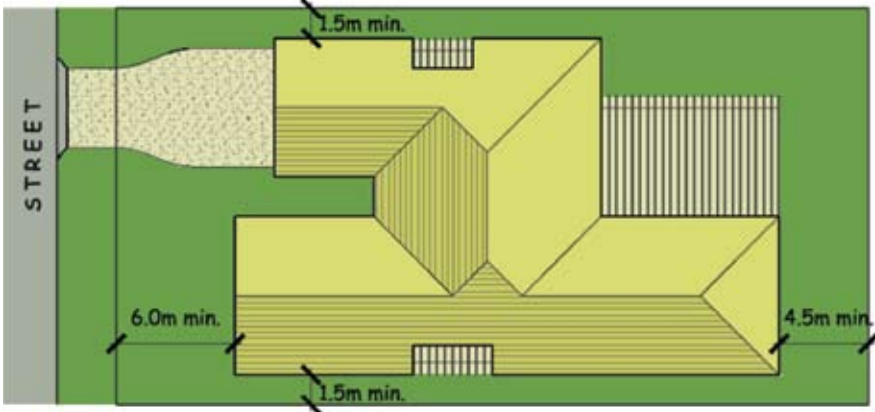
(B) GOLF COURSE LOTS

Minimum Lot Size	Site Coverage	Minimum Floor Area (incl. Garages excl. Outdoor Living Areas)	Minimum Setbacks (to the Fascia)
450-600m ² or main street frontage less than 15m (See 3)	Less than 50%	260m ²	Side: 1.5m/0m Rear: 4.5m Front: 6m
600-1,000m ² (See 4)	Less than 50%	300m ²	Side: 1.5m/1.5m Rear: 4.5m Front: 6m



3

450 to 600 m²
Golf Course Lot
Single Storey
Floor Area = 260m² Minimum
Site Coverage = 50% Maximum
A + B = 6.0 min./15.0 max
on boundary



4

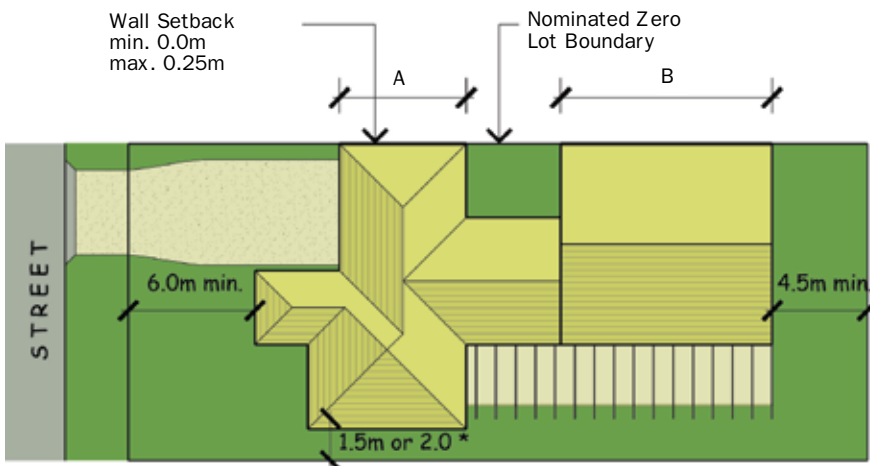
600 to 1000 m²
Golf Course Lot
Single Storey
Floor Area = 300m² Minimum
Site Coverage = 50% Maximum



Double-storey — Building Requirements Summary

(B) NON-GOLF COURSE LOTS

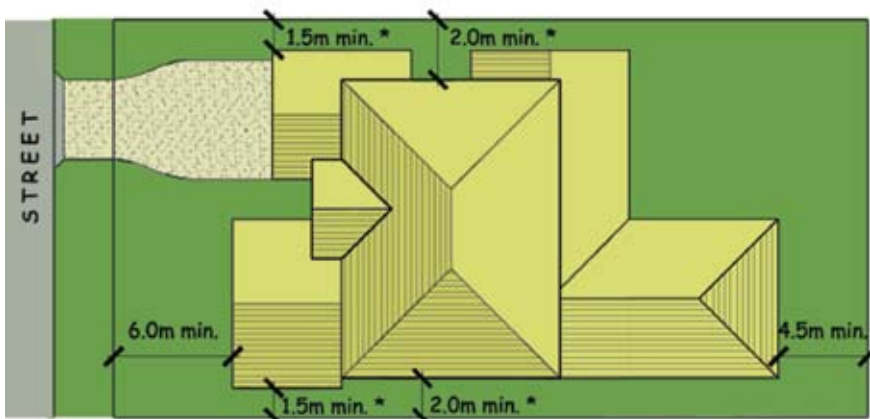
Minimum Lot Size	Site Coverage	Minimum Floor Area (incl. Garages excl. Outdoor Living Areas)	Building Height	Minimum Setbacks (to the Fascia)
450-600m ² or main street frontage less than 15m (See 5)	Less than 40%	240m ²	Less than 8.5m	Side: 2m/0m Rear: 4.5m Front: 6m
600-1,000m ² (See 6)	Less than 50%	280m ²	Less than 8.5m	Side: 2m/2m Rear: 4.5m Front: 6m



5

450 to 600 m²
Non-Golf Course Lot
Double Storey
Floor Area = 240m² Minimum
Site Coverage = 50% Maximum
A + B = 6.0 min./15.0 max
on boundary

*Side Boundary Setback 1.5m
(Building up to 4.5m Height)



6

600 to 1000 m²
Non-Golf Course Lot
Double Storey
Floor Area = 280m² Minimum
Site Coverage = 50% Maximum

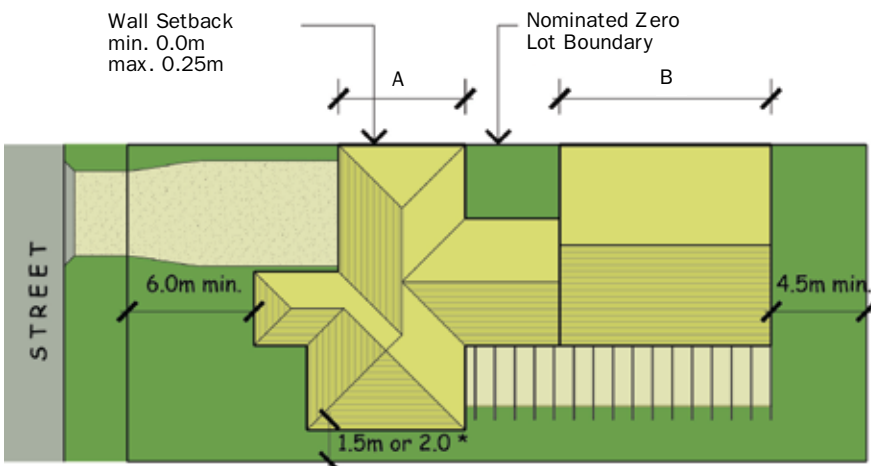
*Side Boundary Setback 1.5m
(Building up to 4.5m Height)



Peregian Springs Estate Covenant

(B) GOLF COURSE LOTS

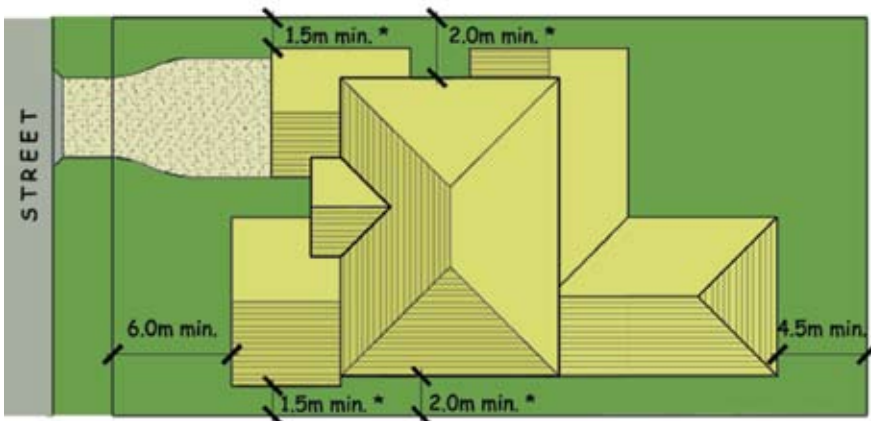
Minimum Lot Size	Site Coverage	Minimum Floor Area (incl. Garages excl. Outdoor Living Areas)	Building Height	Minimum Setbacks (to the Fascia)
450-600m ² or main street frontage less than 15m (See 7)	Less than 40%	260m ²	Less than 8.5m	Side:2m/1.5m/0m Rear: 4.5m Front:6m
600-1,000m ² (See 8)	Less than 50%	300m ²	Less than 8.5m	Side: 1.5m/2m Rear: 4.5m Front: 6m



7

450 to 600 m²
Golf Course Lot
Double Storey
Floor Area = 260m² Minimum
Site Coverage = 50% Maximum
A + B = 6.0 min./15.0 max
on boundary

*Side Boundary Setback 1.5m
(Building up to 4.5m Height)



8

600 to 1000 m²
Golf Course Lot
Double Storey
Floor Area = 300m² Minimum
Site Coverage = 50% Maximum

*Side Boundary Setback 1.5m
(Building up to 4.5m Height)



5 Architectural and Landscaping Standards

5.3 Your obligations

These are fixed requirements. You must adhere to the building design requirements in the Design Schedule and the requirements for landscaping and outdoor structures in the Landscape Schedule. A reference index, showing the building design requirements and landscape requirements, is contained in the table below:

Building Design Issue	Design reference
Building Design Issue House size	D1
Floor area	D2
Positioning your home	D3
Setbacks	D4
Corner Lots	D5
Relocated buildings	D6
Repetitive designs	D7
Materials and finishes	D8
Walls	D9
Verandahs, porches and patios	D10
Roof design	D11
Roof material	D12
Garages, carports and parking spaces	D13
Colours	D14
Glass	D15

Landscaping Issue	Landscape reference
Landscape timing	L1
Existing trees	L2
Minimum landscaping requirements	L3
Recommended trees	L4
Turf requirements	L5
Fences	L6
Fencing liability	L7
Driveways and paths	L8
Retaining walls	L9
Outdoor structures	L10
Pools and spas	L11
Pergolas	L12
Landscaping walls	L13



Peregian Springs Estate Covenant

6 Approval of plans

- 6.1 All improvements to a Lot, other than minor improvements, must be approved under these Estate Covenants by us.
- 6.2 Some examples of a minor improvement would be a brick barbeque, a letterbox or water feature in the garden.
- 6.3 Minor improvements to a Lot must also be consistent with these Estate Covenants.
- 6.4 You must not make improvements to a Lot (other than minor improvements) until:
 - (a) plans and specifications of the proposed improvements are approved by us under these Estate Covenants (which you must do before seeking any Council approvals required by law); and
 - (b) any changes to the plans and specifications needed for an approval by us under these Estate Covenants have been met; and
 - (c) you have obtained any approval required by law for the improvements, and
 - (d) copies of all required engineering approvals have been given to us.
- 6.5 Before making a formal application under these Estate Covenants, you may seek our advice as to whether proposed plans and specifications are consistent with these Estate Covenants.

7 Flowchart of a Typical Approval Process

To meet your building obligation under your sales contract and these covenants and to obtain building approval, we recommend that you meet with an architect and builder as soon as possible after settlement. The typical timing for the approval process is as follows

STEP 1	Meet with your architect and builder to discuss your designs, construction program and costs	1 month after settlement
STEP 2	Compile all the information required for building approval by us - use the building approval checklist (at the end of these covenants)	2-3 months after settlement
STEP 3	Apply for building approval from us (include completed checklist).	3 months after settlement
STEP 4	Apply for building approval from Council	3-4 months after settlement
STEP 5	Commence Building	5 months after settlement

7.1 Your contractual obligation for building in the estate are detailed in your sales contract and we also note that you must not subdivide or change the use of the Lot nor amalgamate the Lot with other land or otherwise deal with the Lot or the Land without the prior written consent of the Developer, which may be given or refused in the Developer's absolute discretion.



8 Care of your Lot before and during construction

8.1 Rubbish

- (a) You must not allow rubbish to be placed on or to accumulate on your Lot.
- (b) Builders must remove rubbish daily or keep it in a rubbish compound or removable bin prior to removal. Rubbish compounds and bins must be cleared or emptied regularly so that rubbish does not accumulate or spill out.
- (c) Large accumulations of rubbish may be removed by us at our discretion and we will recover the costs from you.

8.2 Grass and plants

- (a) You must ensure that the grass and plants on your vacant Lot are kept under control so that pests and weeds are not encouraged. This includes keeping the grass slashed and weeds sprayed.
- (b) If maintenance is required to bring the lot to an appropriate level then we will undertake maintenance works and recover the costs from you.

8.3 Construction parking

Construction vehicles must not be left on roads or hinder development construction in any way.

8.4 Temporary structures

- (a) Temporary sheds and buildings are only allowed on your Lot during construction of a permanent home and they may only be used for construction purposes and must be removed when construction is complete.
- (b) You must not live (or allow anyone to live) in a caravan, tent or any temporary structure on your Lot.

9 Signs and hoardings

As our aim is to ensure the consistent and aesthetic appeal of the Estate, you must obtain our consent prior to erecting any signage or hoarding on your Lot.

We may at our absolute discretion, consent to the placement of one "builders construction sign" if it is considered by us to comply with the "Estate Signage" specifications in clause 9.1 below.

Resale homes may be marketed and promoted by the installation of one "For Sale" sign, provided it complies with the specifications and requirements in clause 9.2 below.

Additionally, resale homes may be marketed and promoted by the use of signage during "Open for Inspections" or on the day of Auction provided the signage complies with the specifications in clause 9.3 below.

You acknowledge that the estate marketing signage may remain in place for the total life of the Estate at our discretion.

9.1 Builders Sign

After obtaining our consent you must not allow more than one "builders construction sign" to be erected or placed on or in front of your Lot.

All signs must be approved and comply with the following "Estate Signage" specifications:

Dimensions: 1000mm x 1000mm

Materials: Weather Tex 9.5mm



Peregian Springs Estate Covenant

Content: Only the following content is to be included on the sign:

- "Company Logo"
- "Builder: Name/Company Pty Ltd"
- "BSA Licence No."
- "Lot No."
- "Contact: (nominated name)"
- "Ph:"

Font: All sign content must be produced in the following font:

- Font: Trade Gothic
- Size: 80mm

Post: 35 x 45 Treated Pine

Position: Inside the front boundary at either the left or right hand side of the Lot

Note: No corflute signs or star pickets are allowed on any Lot.
A list of preferred signage suppliers is available on request



10

9.2 For Sale Sign

After obtaining our consent you must not allow more than one "For Sale sign" to be erected or placed in front of your residence.

For Sale signs are not to be erected inside a residence or on vacant land.

Reapplication for a For Sale sign can be made and will be granted at our absolute discretion.

Dimensions: 1200mm x 900mm

Materials: Substrate: 0.55mm galvanised tin

Fascia: Adhesive UV-tolerant vinyl printed in full colour, applied onto substrate

Design: Only the design as illustrated may be included on the sign.

Content: Only the following content may be included on the sign:

- Full colour photograph of the residence.
- Description of the residence (maximum 100 words).
- Contact name, telephone number and email address for the owner or marketing agent.

Posts: Treated pine 35mm x 70mm

Installation: Sign to be installed only by nominated supplier.

Star pickets (if used to support posts) are not to be visible at any time.

All For Sale signs are to be erected for a period of no more than 90 days.

Position: Inside boundary to either left hand side or right hand side of the residence.

Number: Only one sign per Lot.

Period: Maximum time allowed for sign to be installed at the residence is 90 days.

Note: No corflute signs or star pickets are allowed on any Lot.
A list of preferred signage suppliers is available on request.



Photograph: 515mm high x 900mm wide

Heading Panel: 75mm high x 900mm wide

Text: FOR SALE or AUCTION only

Description: 440mm high x 900mm wide

Maximum of 100 words

Contact Panel: 170mm high x 900mm wide

Contact name, Telephone No. & email address only



FOR SALE

This spacious 4 bedroom home in a secluded court location boasts 2 separate living areas and a massive outdoor entertaining area. The master bedroom features a spacious ensuite and walk-in robes, with ceramic floor tiles throughout. The state of the art kitchen features all European appliances, a breakfast bar and eating nook. Outside, a sparkling salt water pool and covered BBQ area make this home a real entertainer.

5448 2690

Cnr Peregian Springs Dr & Longwood Dr
www.peregiansprings.com.au

CORRECT FOR SALE SIGNAGE >

These design specifications must be followed by your nominated sign writer.

9.3 Open for Inspection and Auction Day Signage

After obtaining our consent you may at your residence install the following signage during "Open for Inspections" and on the day of Auction.

Open for Inspection: One "sandwich board" sign and one promotional flag are permitted to be used for the duration of the "open for inspection". This signage must be removed immediately from your residence at the close of the "open for inspection".

Auction Day: On the day of an Auction the following promotional signage may be installed at your residence:
 "one sandwich board"
 "promotional bunting"
 "promotional flags"

Note: No directional signage is permitted to be used within the Estate at any time.

This signage must be removed from your property at the end of the auction.

9.4 Other signs

All other signs or hoardings can only be erected with our prior consent, which may be given or withheld at our absolute discretion.



Peregian Springs Estate Covenant

9.5 Removal of signs

You authorise us and any appointed contractor to enter upon the Lot and remove any signs or hoardings that are erected without our consent. Any costs related to this will be recovered from you.

10 Living in the Estate

10.1 Working from home

We recognise that many people operate an office or small business from their home. While not wanting to unduly limit the opportunities and benefits that flow from working from home and spending time with the family, certain restrictions on the types of activities that can be conducted from your home are required to preserve the overall quality of life in the Estate. The following requirements apply to the use of your dwelling for an office or business:

- (a) you must not carry on any business from your Lot unless you have our written consent and you comply with all relevant laws;
- (b) you must not have any signs, advertisements or other promotional material on your Lot;
- (c) you must not do anything that is immoral or is a nuisance to us or your neighbours;
- (d) the following types of activities are not permitted:
 - (i) noxious or offensive activities or industries;
 - (ii) noisy or disruptive activities.
- (e) no dwelling may be used as a display home without our written consent;
- (f) you must not make any application to the Council relating to the Land without first obtaining our written approval.

10.2 Pets



- (a) Many families like to have pets, however, excessively noisy pets are likely to lead to disputes between neighbours. You should be familiar with and must comply with the Council By-Laws regarding pets.
- (b) Only common domestic pets may be kept. You must not keep poultry, horses, livestock, declared pests or wild animals on your Lot.

10.3 Parking and vehicle storage

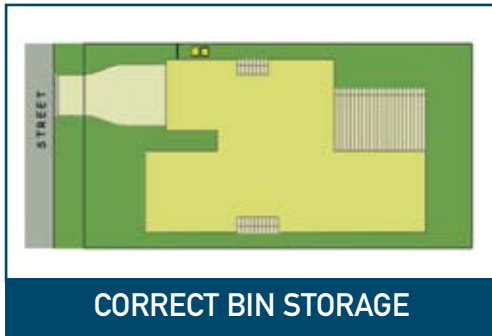


CORRECT VISITOR CAR STORAGE

- (a) All vehicles (including motor cars, caravans, boats, trailers, motor bikes etc) should be stored wherever possible in a Garage.
- (b) Vehicles that cannot be garaged should be stored behind your dwelling, or behind suitable screening or landscaping that we have approved, so as not to be seen from the street.
- (c) You must not leave or store a vehicle on the public areas (roads, footpaths, parks etc) at any time. Vehicles must not be parked in the front yard or driveway of a dwelling for more than one day.



10.4 Rubbish Bins



11

- a) All rubbish bins and containers (eg "wheelie bins") must be stored behind the dwelling, or behind suitable screening and or landscaping we have approved, so as not to be seen from the street.
- (b) Rubbish bins or containers should not be left on the public areas (roads, footpaths, parks etc) except when put out for collection periods. Bins must not be put out for collection before sundown on the day prior to the collection day and must be returned to their proper storage area before sunrise on the day following the collection day.
- (c) All rubbish bins and containers should be regularly cleaned so as to eliminate offensive odours and reduce the potential for vermin.

10.5 Care and maintenance of your home

You must maintain the high standard of the Estate by:

- (a) keeping your lawns mown and in good condition;
- (b) maintaining your gardens and landscaping in good condition and free of weeds and pests;
- (c) keeping the exterior of your dwelling clean and the exterior paint in good condition;
- (d) maintaining your fences and other structures in good condition;
- (e) washing is not to be in view of the Golf Course or public areas - if necessary the clothes line should be behind suitable screening or landscaping we have approved;
- (f) limiting the use of fertilisers, especially phosphate based fertilisers that dramatically effect the PH balance of the water courses within the Estate. Excessive use of fertilisers within the Estate may result in fines by the Council. You must not use fertilisers that we advise are not suitable.



Some Tips:

- Organic fertilisers are preferred to non-phosphate/nitrogen fertilisers.
- Fertilisers are not to be applied prior to or during rain.
- Car washing detergents to be on turfed areas only.
- Chemicals applied to driveways must not be washed into the stormwater system.

10.6 Garages, garden sheds and other outbuildings as a stand alone building

- (a) You must not erect or place a garage, garden shed, gazebo or similar structure as a stand-alone building without our written consent. We will not give this consent unless satisfied that the proposed building is not in conflict with the intent of these Estate covenants.
- (b) Zinalum and bare or silver aluminium finishes will not be approved.



Peregian Springs Estate Covenant

11 Other matters

11.1 Obligation prior to transfer of the Lot

- (a) Unless you obtain our prior written consent, you must not sell your Lot before you have completed construction of an approved dwelling on your Lot.
- (b) If you fail to comply with the construction time requirements or you attempt to re-sell your Lot before construction is completed, we may compulsorily repurchase your Lot by exercising the option in your sales contract.
- (c) You must not transfer your Lot to another person (transferee) unless the transferee has entered into a Deed with us that:
 - (i) obliges the transferee to comply with all of these Estate Covenants (including the obligations under clause 7.1, which are to be based on the date you settled the purchase of your Lot); and
 - (ii) is prepared by our solicitor at your cost.

11.2 Responsibility for guests, contractors, etc

You must ensure that the people who come to, or live at, your Lot do not do anything that is a breach of these Estate Covenants. You agree that you are responsible for any breach of these Estate Covenants by those people.

11.3 Rectifying your breaches

You agree that if you, or a person you are responsible for, breaches these Estate Covenants and you do not rectify that breach within a reasonable time after we give you a notice requiring you to rectify that breach then:

- (a) we may rectify that breach (and we are authorised to enter your Lot and do work for that purpose); and
- (b) you must pay us the reasonable cost we incur rectifying that breach (payment must be made within 7 days after we give you a written claim for the payment); and
- (c) the cost may be recovered as liquidated damages if you do not pay the amount claimed within the 7 days.

11.4 Covenant Conditions

We reserve the right to vary or exclude any of the obligations under the Estate Covenants provided that such action will only be taken by us in keeping with the aim of establishing a modern well designed residential community. You hereby absolve us from any liability whatsoever for any action taken in the variation or exclusion of any covenants.



Design Schedule

Building design issues and requirements

D1 House size

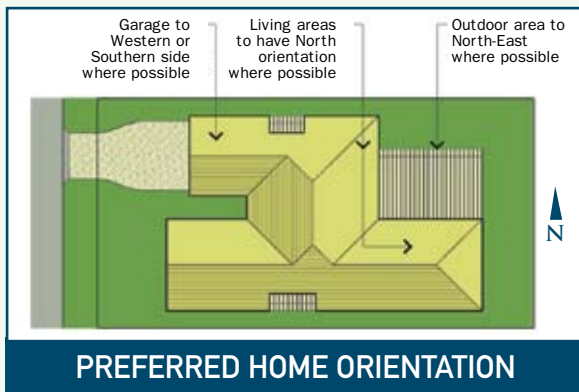
Required Minimum House sizes

House Type	Lot size	Minimum floor area
Non-Golf Course lots	450m ² - 600m ²	240m ²
	600m ² - 1,000m ²	280m ²
Golf Course lots	450m ² - 600m ²	260m ²
	600m ² - 1,000m ²	300m ²

D2 The floor area:

- (a) should be measured from the exterior of the outside walls;
- (b) for multiple level dwellings, the floor area of the ground floor must be greater than the upper floor level;
- (c) includes the area of the Garage; and
- (d) does not include outdoor living areas.

D3 Positioning your home on your land



We encourage a North East aspect for internal and outdoor living areas to capture the cooling NE summer breezes and favourable warming winter sunshine. Garages and utility rooms should be situated, where possible, to protect the home from the Western sun and the winds from the South.

12

D4 Setbacks

Detailed below are the minimum setbacks for houses in the Estate:

Front setback

The dwelling must be a minimum of 6 metres from the front boundary of the Lot. For corner Lots, we may agree to reduce the setback from the secondary road frontage to 4.5 metres.

Rear setback

The dwelling, including patios, verandas and pergolas must be at least 4.5 metres from the rear boundary of the Lot.

A garden storage shed may be closer to the rear boundary if approved by the Council and if the shed is only used for storage and not as a workshop.



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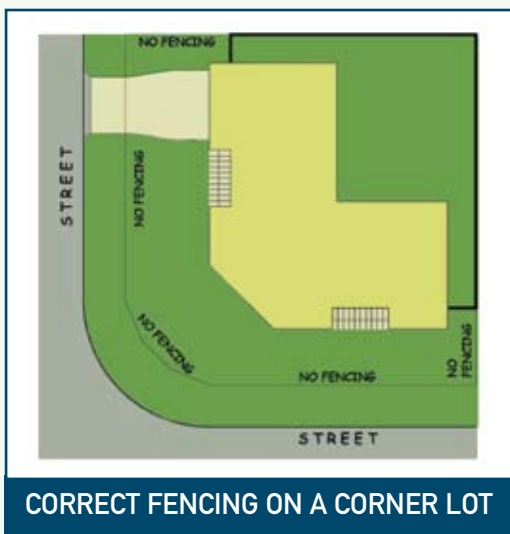
Side setbacks

The dwelling and other structures must be at least 1.5 metres from the side boundaries of the Lot.

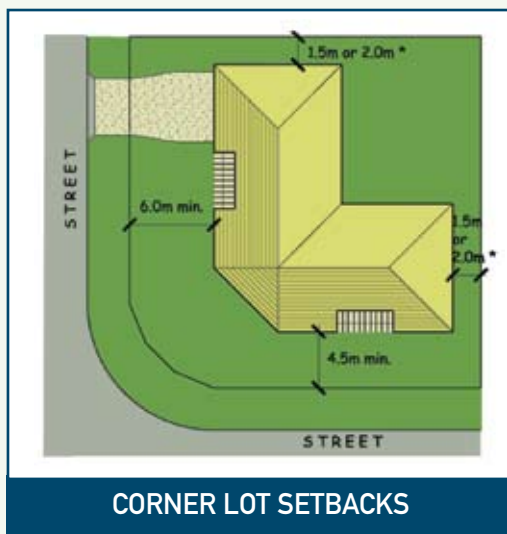
Any part of the building over 4.5 metres high must be at least 2 metres from the side boundaries.

D5 Corner Lots

For corner Lots, dwellings should be aesthetically pleasing from both street frontages and fencing to the street frontages will not be permitted.



13



14

600 to 1000 m²

Floor Area =
280m² Minimum

Site Coverage =
50% Maximum

*Side Boundary Setback
1.5m (Building up to
4.5m Height)
2.0m Building up to
7.5m Height)

D6 Relocated buildings

You must not relocate a building onto your Lot.

D7 Repetitive designs

Repetitive designs are not acceptable and each street in the Estate should have a variety of building forms. We may refuse applications for buildings that will have a similar appearance to other buildings in the street that are within 150 metres of your Lot.

D8 Materials and finishes

In order to enhance the amenity and character of the Estate as a masterplanned community:

- (a) you must not use second-hand or substandard building materials; and
- (b) the materials and finishes of your new home must conform with this Schedule.

D9 Walls

Walls must be:

- (a) Rendered and painted masonry;
- (b) Pre-coloured texture coated masonry; or

Combinations of these approved finishes may be considered by us on their merits.



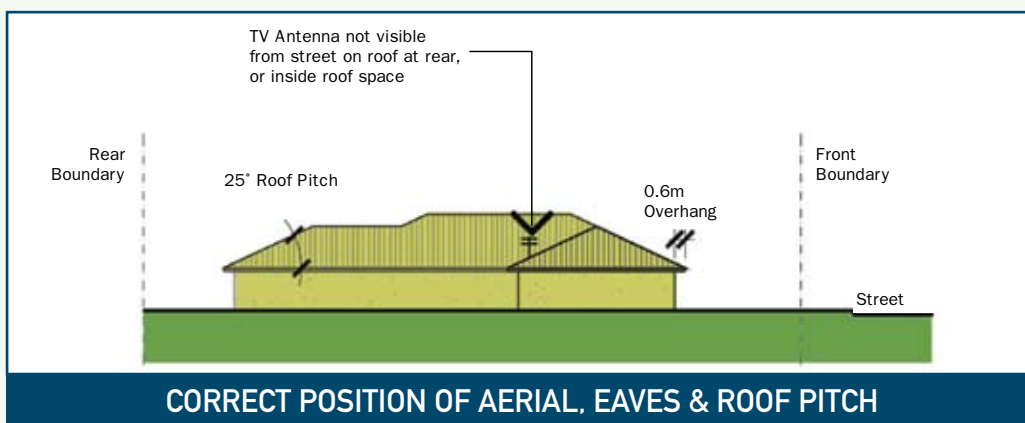
D10 Verandahs, porches and patios

Verandahs and porches are encouraged to provide relief to flat facades. This will be more important where the dwelling has a broad front or is regular in shape.

D11 Roof design

Roof design is very important to the look and performance of a building. You should make sure you provide for the following requirements when designing your home:

- (a) Roofs generally should be pitched to the outside walls reducing internal gutters.
- (b) For pitched roofs, the pitch should be 25°.
- (c) Flat and curved roofs will be considered on their merits.
- (d) Roof overhangs are to be a minimum of 450mm and overhangs of 600mm are encouraged.
- (e) Aerials and satellite dishes must not be visible from public areas and the golf course.
- (f) Antennae under roof tiles are encouraged.
- (g) If air conditioners must be roof mounted then they must be finished in a colour to match the roof and must not be visible from public areas.
- (h) Solar water heaters are to be located where they are not visible from public areas.
- (i) Hot water systems are to be located where they are not visible from public areas.



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D12 Roof material

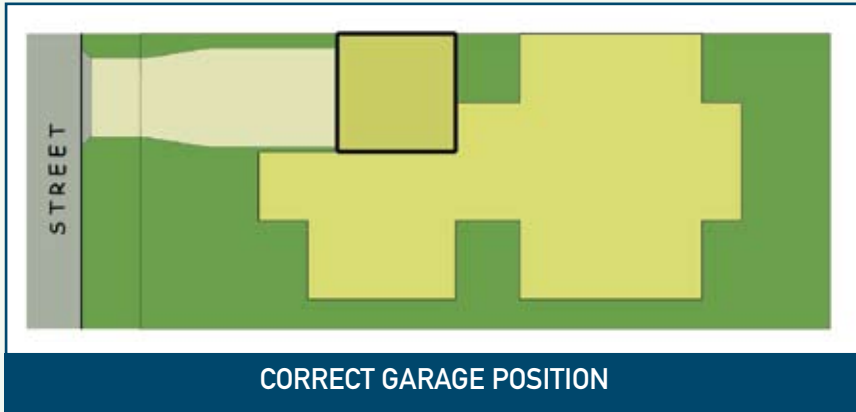
- (a) Roofs should be either:
 - (i) Clay or concrete tiles; or
 - (ii) Pre-finished metal colorbond roofing
- (b) Flashings, gutters and downpipes must be colorbond or painted.
- (c) Non-reflective roofing colours or materials are to be used for all Golf Course Lots. We can at our discretion direct you to use non-reflective roofing materials and/or colours where we believe the roof design and/or your Lot require non-reflective roofing materials to minimise roof reflection.

Combinations of the approved roof finishes and other finishes will be considered on their merits.

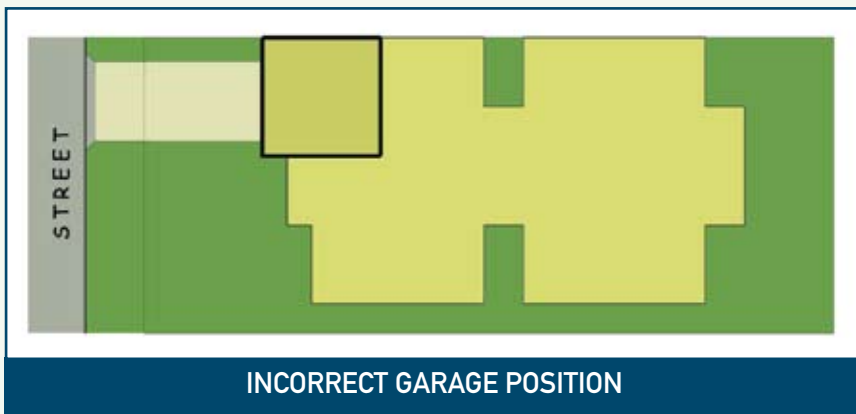


Peregian Springs Estate Covenant

D13 Garages, carports and parking spaces



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- (a) All houses must have a double attached Garage that is:
 - (i) constructed concurrently and with the same materials as the dwelling; and is
 - (ii) enclosed and fitted with either panel lift doors, timber doors, tilt doors, or slim doors.
- (b) The garage should not form a dominant feature of the front facade and should be integrated with the design of the dwelling. We will consider garage door styles on their merits but encourage the use of panel lift doors.
- (c) We encourage design that reduces the impact of the driveway and garage on the streetscape and adjoining properties.
- (d) Carports will be considered on their merits and must be built at the same time as the garage. Only vehicles and trailers are permitted to be stored in carports.
- (e) Rear yard access and parking should be considered for parking trailers, boats, caravans, etc. so that these can be stored out of public view.

D14 Colours

- (a) While individuality is encouraged, bright colours are not.
- (b) A brightly coloured home amongst homes with muted colours may in fact have significantly reduced street appeal. All submissions will be considered on their merits.

D15 Glass

Tinted glazing is encouraged and will assist with energy conservation within your home. Reflective glazing is not permitted.

D16 Watertanks

Watertanks and water storage facilities must not be visible from the streetscape or from any boundary of your allotment. Only underground watertanks will be permitted to be installed in the Estate. The Developer will approval the installation of above ground watertanks only where there is insufficient land to accomadate an underground watertank.



Landscaping Schedule

Requirements for Landscaping and Outdoor Structures

L1 Landscape timing

Unless otherwise specifically stated, all landscaping requirements must be completed within 2 months after the dwelling is completed and ready for use.

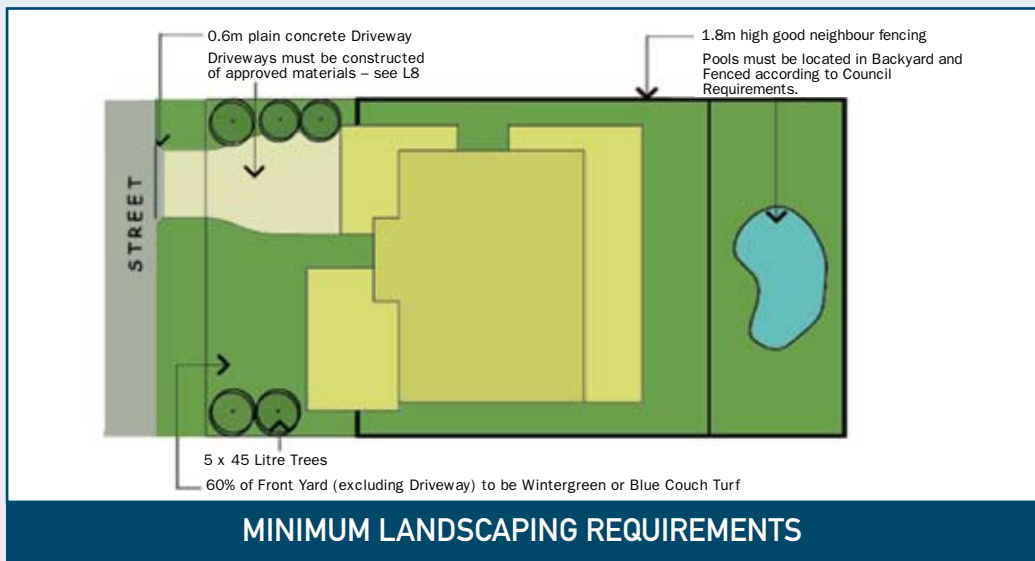
L2 Existing trees

- (a) We and the Council are committed to enhancing the natural environment within the Estate development. You must not remove any trees from your Lot after your purchase without our written consent and also the approval of Council.
- (b) You must endeavour to protect all trees within your Lot as much as possible and must replace any trees that are removed (with Council's and our consent) by planting an advanced replacement tree that is at least 2 metres high and is of similar approved type.

L3 Minimum landscaping requirements

All Lots must be landscaped to the following minimum requirements:

- (a) there must be 5 new major trees planted in front of the dwelling selected from the list of recommended trees and must be purchased in pots greater than 45 litres and be a size reasonably expected for trees sold in 45 litre pots.
- (b) you must have fully completed the crossover, driveway and any footpaths inside the Lot prior to occupancy;
- (c) all other external areas must be garden beds or turfed in Winter Green or Blue Couch;
- (d) any cutting or slope that cannot be supported with a turfed rolling batter must be supported with a retaining wall prior to occupancy;
- (e) your Lot must be fenced with a maximum height of 1.8 metres off the natural ground level and conform with clause L6.





Peregian Springs Estate Covenant

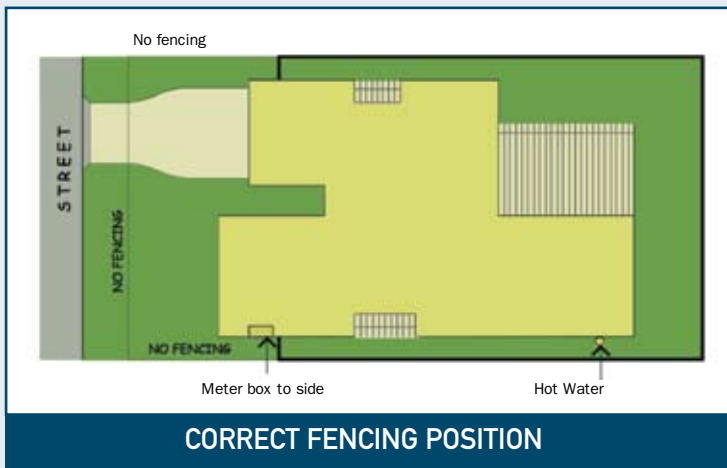
L4 Recommended trees

The following varieties of trees are recommended and allowed. You must not use any other tree varieties unless we have given you written authority first. (We will approve other varieties that are, in our view, in keeping with the estate.)

Acacia (Wattle)	Bauhinia	Grevillea
Acmena (Lilly Pilly)	Casuarina	Lophostemon (Brush Box)
Alex Palm	Cupaneopsis (Tuckeroo)	Melaleuca
Buckinghamia (Ivory Curl)	Delonix (Poinciana)	Peltophorum (Flame Tree)
Banksia	Eucalyptus Citriodora (Lemon-scented Gum)	Xanthostemon (Penda)
Backhousia (Myrtle)	Foxtail Palm	

L5 Turf requirements

- At least 60% of your front yard (excluding the driveway area) must be turf. You may only use a variety of turf approved by us and the turf must be carefully married into the existing turf on the estate footpath areas (see L3).
- We have identified the turf varieties which suit the climate. When you are designing your landscaping with your landscaper, please make sure they include either Winter Green, Sir Walter or Blue Couch turf which will be suitable for the region. You or your landscaper are encouraged to contact us to discuss turf and other landscape requirements.



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L6 Fences

- Front fencing is not permitted.
- You must fence the sides and rear of your Lot, starting at the front alignment of your dwelling.
- Your fence along a boundary of another Lot must be 1.8 metres high and constructed of one of the following materials:
 - CCA treated timber;
 - brushwood;
 - masonry to match your dwelling;
- For lots adjoining parks, we will also approve Dulux Deep Brunswick Green 50068 powdercoated metal pool-type fencing for the section of fencing adjoining the park at our discretion.

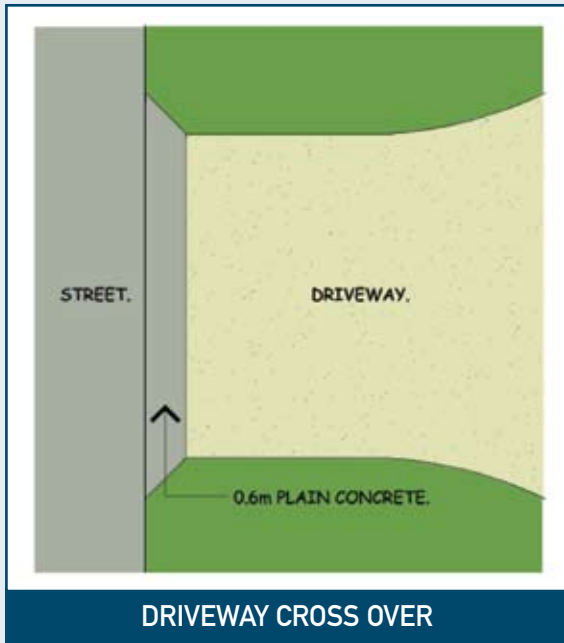
- Fencing adjoining the Golf Course must be 1.2 metres high and Dulux Deep Brunswick Green 50068 powdercoated metal pool-type fencing. Rear gates will not be allowed. The side fencing along each side alignment should commence tapering down to meet rear fencing, 3.0 metres from the rear fencing.

L7 Fencing Liability

You agree that, notwithstanding the Dividing Fences Act 1953, we are not required, and you must not ask us, to contribute to the construction of a dividing fence between your Lot and any land we own.



L8 Driveways and paths



- (a) The following driveway finishes are acceptable:
 - (i) Exposed coloured aggregate concrete, or
 - (ii) Stencilled coloured concrete.
- (b) No other driveway finishes may be used. The finish and colour of any paths inside the Lot must match the driveway.
- (c) Your driveway must not be wider than 4.0 metres at the front boundary of your Lot and must be setback at least 0.75 metres from any side boundary.
- (d) If you must remove the layback kerbing to construct your crossover then the crossover must be constructed of plain concrete to match the existing kerb & channel and the plain concrete must extend for 600mm beyond the invert of the kerb.
- (e) Chemicals applied to driveways must not be washed into the stormwater system..

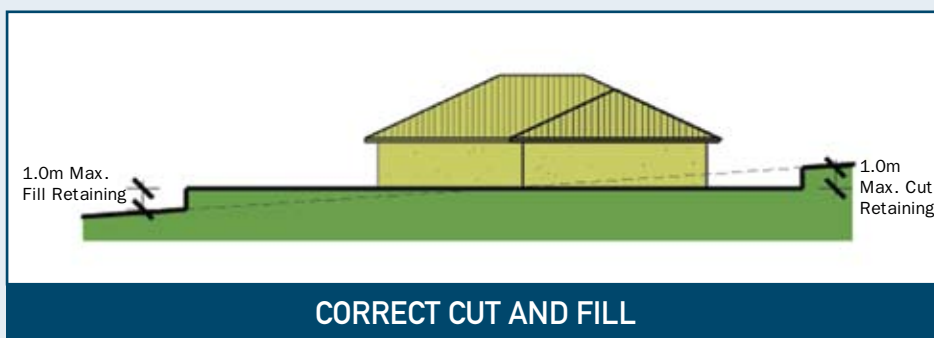
20

L9 Retaining walls

Turfed soft rolling batters must be used instead of retaining walls where it is reasonably sufficient to do so. Any retaining walls must be approved as part of the approval of your dwelling plans.

If a retaining wall is required then it must be:

- (a) no more than 1 metre high; or
- (b) if higher than 1 metre, approved by Council and notification sent to us;
- (c) constructed with any of the following materials:
 - (i) stacked grey basalt boulders,
 - (ii) CCA treated hardwood,
 - (iii) masonry lock blocks rendered to match the dwelling,
 - (iv) masonry rendered to match the dwelling.



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Peregian Springs Estate Covenant

L10 Outdoor structures

Outdoor structures (other than landscaping features and approved carports) are not permitted in front of your dwelling.

Garden sheds do not require approval if they are beside or behind your dwelling and are less than 12m² and constructed of colorbond cladding.

Any outdoor structure greater than 12m² must be constructed of the same materials and design as the dwelling and may only be constructed with our approval.

L11 Pools and spas

Pools and spas must be:

- (a) located in the backyard;
- (b) fenced with approved pool fencing;
- (c) compliant with all laws including the approval of Council.

L12 Pergolas

Pergolas are encouraged and will be considered on their merits.

L13 Landscaping Walls

We may approve the construction of landscaping walls along the front boundary of a Lot if they comply with the following guidelines:



TYPICAL LANDSCAPE WALL

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- (a) walls must not be higher than 1.6 metres and no longer than 3.0 metres at any section and must be setback at least 1.4 metres from the front boundary;
- (b) walls are to contain earth for landscaping purposes and are not a substitute for front fencing.
- (c) walls must be constructed of approved materials and, if painted or rendered, must be finished in colours that are complimentary to the dwelling;
- (d) walls must be incorporated within the overall landscaping plan, and may include rocks, plantings and vegetation to blend in with the rest of the landscaping;
- (e) walls may include letterboxes and/or dwelling numbers;
- (f) walls should be landscaped with trees & shrubs to soften their appearance;

L14 Electronic Gates

will only be approved by the Developer for "battle axe" allotments and must be integrated into the overall landscap design:



Application for building approval checklist

Your application for our design approval must include:

A site plan showing: [use tick boxes right]		Cross section indicating:	
Real Property Description		Floor to ceiling heights	
Cut and fill details		Roof pitch	
Retaining wall details		A schedule of the external colours and materials; (see application form)	
Boundaries including bearings & dimensions		A landscape plan showing:	
Road name and location		Minimum number of five new trees in front of the dwelling	
Northpoint		Fencing details	
Boundary set back dimensions		Driveways and footpaths inside the Lot (including finishes and crossover details)	
Contours		Type of turf to be used and details of other ground covers	
Services (sewer, stormwater, power etc)		Retaining wall details	
Building outline and overhangs		Fully completed application form	
Floor plans showing:			
Dimensions			
Room names			
Schedule of areas (m2) for dwelling, garage, verandahs/ pergolas			
Elevations for each side showing:			
Existing and proposed ground lines			
Maximum height above existing ground line			
External materials			

Your application is ready to be submitted for approval

- The above information should be available from your builder or designer and should be presented in A3 format.
- Incomplete applications will not be assessed for approval and will be returned unapproved.
- We will endeavour to approve your plans within 10 working days of receiving a completed application.
- Approval will be at our absolute discretion and after due consideration as to whether your plans and specifications conform to the general high standard of the Estate.



Peregian Springs Estate Covenant

Building Covenant Application Form

A. OWNER DETAILS

Name: _____

Address: _____

Home: _____

Mobile: _____

Business: _____

Fax: _____

B. BUILDER/ARCHITECT DETAILS

Name: _____

Address: _____

Mobile: _____

Business: _____

Fax: _____

C. HOUSE DETAILS

Lot _____

What is the % Site Coverage of your home?

What is the total floor area of the home?
(including garages, but excluding outdoor living areas)

What is the area of the outdoor living areas?

What is the roof pitch of your home?

What is the building height of your home?

D. EXTERNAL MATERIALS/COLOURS

Wall Material _____

Brand _____

Colour _____

Roof Material _____

Brand _____

Colour _____

Gutter Colour _____

Brand _____

Fascia Colour _____

Brand _____

Window Frame Colour _____

Brand _____

Driveway material _____

Garage Door Colour _____

Signature of Applicant: _____

Are you the owner or /builder: _____

E. ATTACHMENTS

- Make sure you attach the following to your Covenant Application:
- A. Site plan showing north point
 - B. Floor plan
 - C. Front, rear & side elevations
 - D. Cross section details
 - E. Fencing & driveway details
 - F. Front yard landscape plan
 - G. TV Antenna, HWS location
 - H. Retaining wall details

All plans, elevations and attachments must be present in A3 format.





Peregian Springs Estate Covenant

Buyer Acknowledgment

We acknowledge we have read and understand and agree to comply with the Peregian Springs Estate Building Covenant.



Lot No: _____

Stage: _____



Name: _____

Address: _____

Signed: _____



Name: _____

Address: _____

Signed: _____



The BUYER acknowledges and agrees that the Land is part of a large development the object of which is to establish a modern and well designed residential estate and it is desirable that supervision and control be exercised by the Developer for the protection and in the interests of the BUYER and other residents of the estate in relation to the nature and type of construction to be erected in the project which includes the subject property; and in recognition of the desirability of the construction of a sound, modern and attractive development through the area. The BUYER agrees with the Developer that should the BUYER sell or transfer title of the property in any way, then they are obligated to the Developer to OBTAIN FROM THE NEW OWNER A COVENANT IN SIMILAR TERMS TO THIS BETWEEN THE DEVELOPER AND THE NEW OWNER AND THE BUYER WILL BE LIABLE FOR ANY NEGLIGENCE FOR NON COMPLIANCE ON THEIR BEHALF, AND ON ONLY ON RECEIPT OF SUCH NEW COVENANT THE BUYER'S OBLIGATIONS TO THE SELLER AND THE DEVELOPER SHALL CEASE





Peregian Springs Estate Covenant

NOTES



NOTES



Too good to resist



For further information please call the Peregian Springs Sales Centre.

Open 9am to 5pm daily, Corner Peregian Springs Drive and Longwood Drive, Peregian Beach, Queensland 4573

Telephone: (07) 5448 2690 Facsimile: (07) 5448 2694 Email: peregiansprings@fkp.com.au

www.peregiansprings.com.au



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